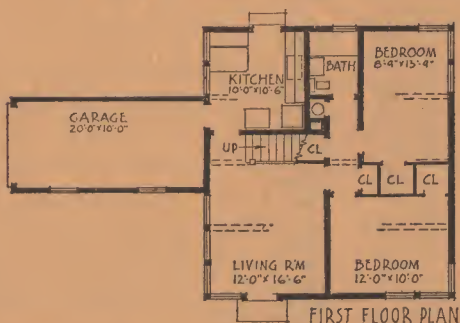


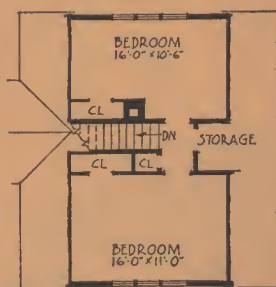
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FIRST FLOOR PLAN



SECOND FLOOR PLAN

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**NATIONAL LUMBER MANUFACTURERS ASSOCIATION  
NATIONAL RETAIL LUMBER DEALERS ASSOCIATION  
1337 Connecticut Avenue, Washington, D. C.**



# - - Careful Planning Can Make a Home Cheaper to BUY THAN RENT

**M**ORE MONEY is available today for home builders than ever before. Why not use it? Why not have something other than rent receipts to show for the money you spend every month for housing?

Due largely to greatly improved, more scientific and more liberal terms of home financing, today's new home building picture is entirely different from that of even five years ago. . . . There is a way today for any family which pays \$15 or over per month for rent to have a new home of its own choosing and to save an

important part of the amount spent each month for a place in which to live. Use the table at the bottom of this page to discover just how much of a house you can buy for your present rent and then take your problem to your local lumber dealer.

★

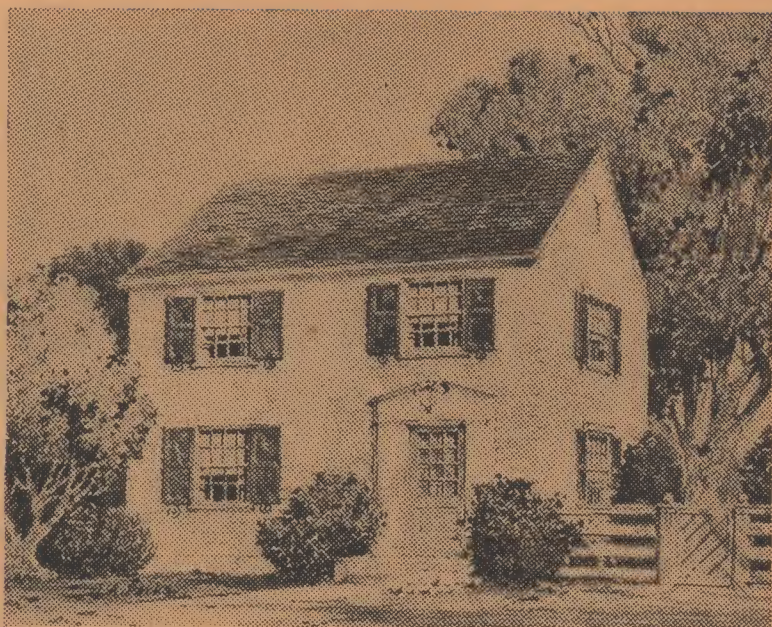
## \*CHECK THIS TABLE AGAINST THE RENT YOU PAY

★

Appraised value of house and lot.....	\$2,000	\$3,500	\$4,500	\$5,000	\$5,500	\$6,000	\$10,000
Maximum loan possible (90%).....	\$1,800	3,100	4,000	4,500	4,900	5,400	9,000
Monthly payments on 20 year loan:							
Principal and 5% interest.....	\$11.88	20.46	26.40	29.70	32.34	35.64	59.40
Mortgage insurance ( $\frac{1}{4}$ of 1%).....	\$ .39	.66	.85	.95	1.04	1.14	1.90
Monthly cost of buying house.....	\$12.27	21.12	27.25	30.65	33.38	36.78	61.30
Add fire insurance.....	\$ .27	.47	.60	.67	.76	.80	1.33
Add taxes (estimated).....	\$ 2.48	4.34	5.58	6.20	6.82	7.44	12.40
<b>TOTAL COST PER MONTH.....</b>	<b>\$15.02</b>	<b>25.93</b>	<b>33.43</b>	<b>37.52</b>	<b>40.96</b>	<b>45.02</b>	<b>75.03</b>

\* F.H.A. Insured Mortgage Rates Based on 20-Year Loan.

## Design No. 1-A

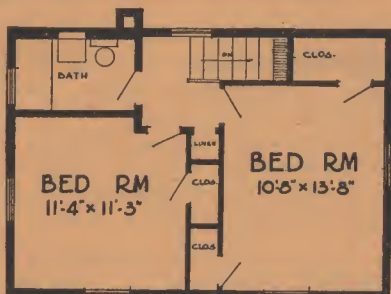


**T**HIS booklet contains six exterior variations each of two low-cost designs—a five-room, two-story house and a four-room, one-story house.

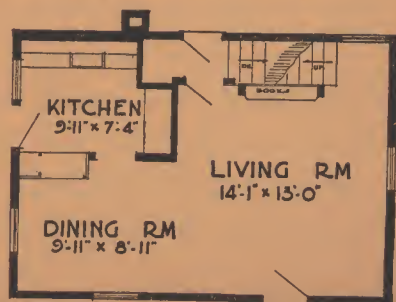
The house illustrated above is the basic plan developed for the five-room, two-story house and is designated as Design 1-A. Preliminary bids and price investigations have indicated that the house is within its cost specifications.

The technical key to lowest-cost homes is the production of a rectangular form which permits a given amount of material to enclose a maximum cubage with the least possible number of man-hours of labor . . . and the use of equipment consistent in cost with the size and structure of the house. This house follows this formula.

The floor plan at the right is the lowest-cost basic edition of Design No. 1 . . . other exteriors and variations in floor arrangement involving basementless features, porch and utility room additions, garage, and extra storage space may be added to this fundamental plan . . . many of them are illustrated on the following pages.

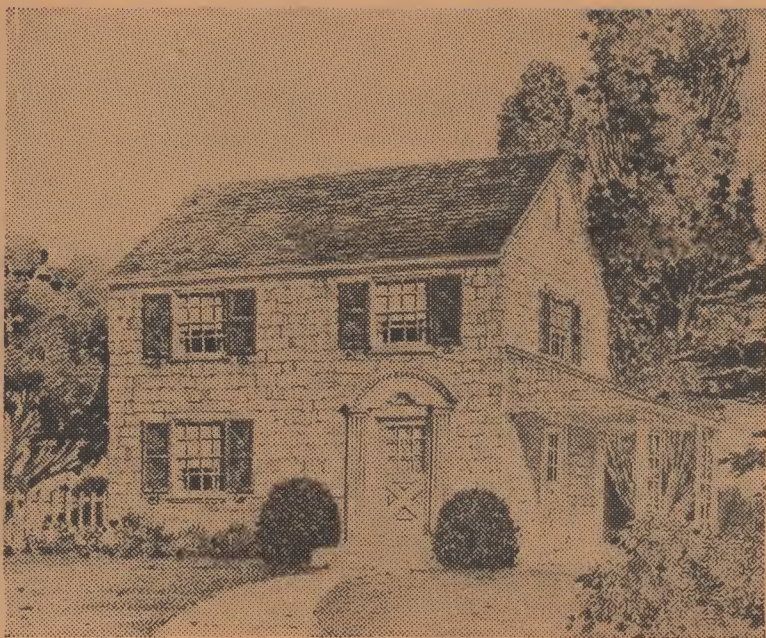


SECOND FLOOR PLAN



FIRST FLOOR PLAN

## Design No. 1-B



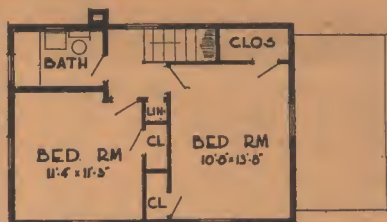
**B**ASIC Design No. 1 is so arranged that either the long or the short dimension of the main house may be turned to the street. Three exteriors are illustrated for each arrangement.

The variation above employs a slightly altered front door detail, wood shingles instead of wood siding for the side walls and includes a side porch. Interior room arrangement is identical with the original base.

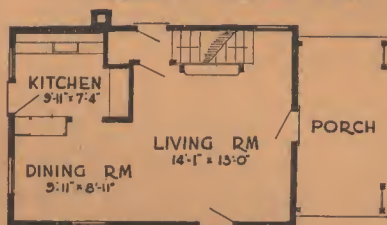
The base exterior dimensions of Design No. 1 are 17' x 25', making possible the use of the minimum front lot now being permitted in most subdivisions.

The floor plan is simple and direct with a minimum of partitions, which is one of the factors contributing to its low cost. The house has direct entry into the living room and an open stair to the second floor. While the dining quarters are sufficiently separated from the main living room to give the impression of a separate area, the absence of a partition between the two contributes to the open aspect of the entire first floor and makes the living quarters seem larger.

The second floor contains four closets for two bedrooms and a standard-sized bath. Each bedroom will accommodate a double bed and other usual furniture. Each bedroom has plenty of light and cross ventilation.

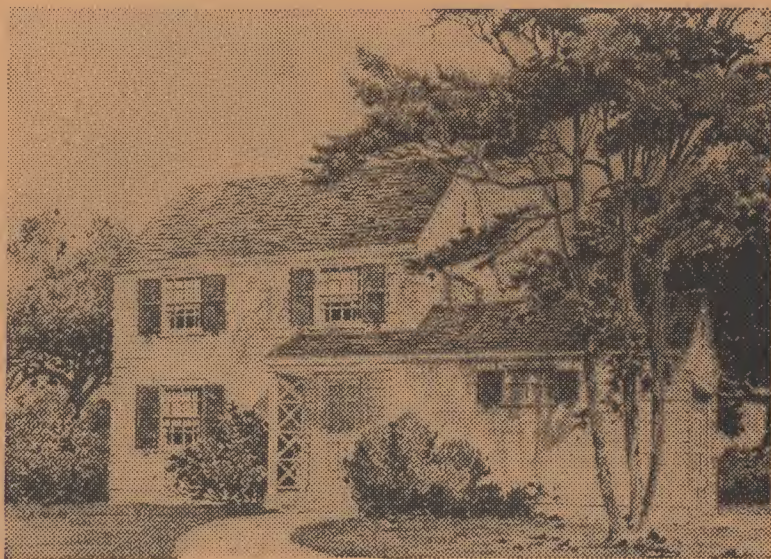


SECOND FLOOR PLAN



FIRST FLOOR PLAN

## Design No. 1-C

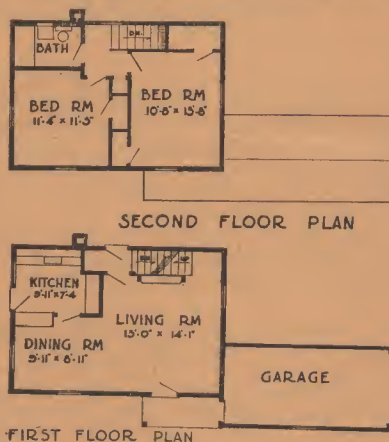


**T**HERE are many positions in which a garage for this house may be located. Probably the most pleasing from an exterior standpoint is that illustrated above, which adds greatly to the apparent length of the house and does much to increase mass and lower general lines.

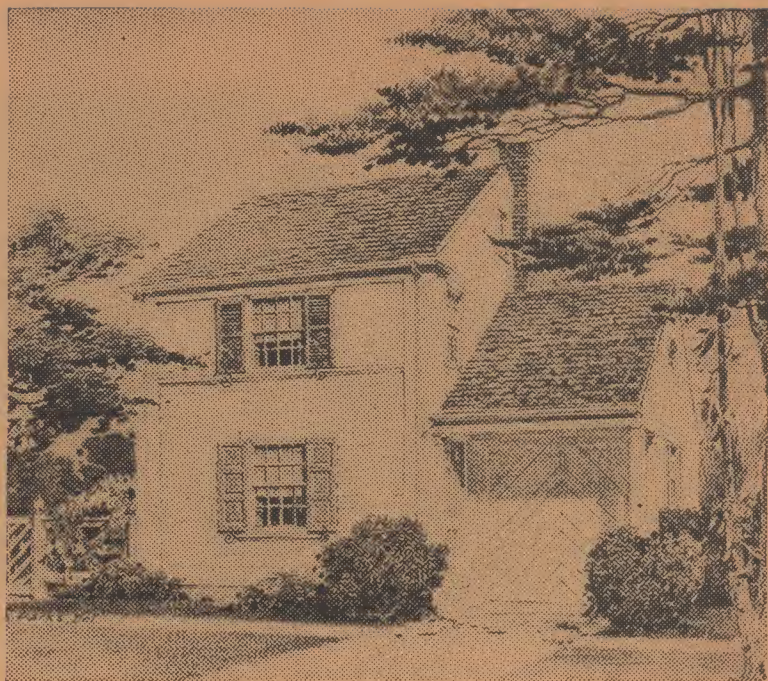
Since the house is 25' long and the garage should be no less than 18', it will be necessary to have a lot in excess of the standard 50' width to accommodate this house. At least 25' should be allowed for making the turn from the drive into the end of the garage. This variation should not be used on a lot less than 70' in width.

This house-garage combination has many advantages over the construction of a separate garage in the rear yard. First, of course, is the saving in not having to build that portion of the end wall which is a part of the house. The extension of the garage roof provides an inexpensive means of shelter over the front door, and less driveway construction is needed.

An interesting further possibility which would give still greater length to the front of the house would be the building of a porch on the left end to balance the garage. Access is gained by converting the window in the end of the dining room into a door. If screened, such a porch serves well as a summer dining area (in which case it should be extended far enough to the rear to include the kitchen door). If the garage is built long enough, an extra coat closet may be obtained in the living room.



Design  
No.  
1-D



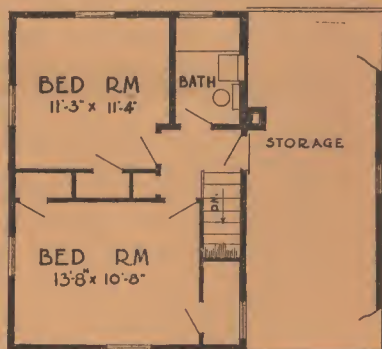
**B**Y TURNING the narrower dimension of basic Design No. 1 to the street, the main portion of the house occupies only 17 ft. of the lot's frontage. This permits the inclusion of a side garage and permits the whole to be built easily on a lot no greater than 40 ft. wide.

The roof ridge has in this case been made parallel with the short dimension of the house, so that in effect the house has been deepened.

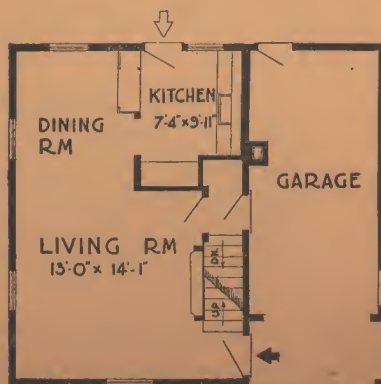
One of the most important attributes of this house is the extra storage space which has been gained by carrying a high-pitched roof on the garage in such a position that it may be reached from the head of the stairs on the second floor. This allows a large lighted area for storage purposes, or possibly for the construction of a small, extra, child's room.

Of course it is possible to erect a high-roof garage on several of the other exterior versions of Design No. 1, thus securing the advantages of extra space.

Note the fact that the flat extension of the garage roof makes a protective covering for the front door, which is now on the side of the house rather than on the front. The break in the pattern of the siding material just under the front window on the second floor helps lower the general aspect of the house. Beveled siding is used below this line and flush boarding above. The angle-pattern garage door is inexpensively constructed by the application of boards over a low-cost stock door.

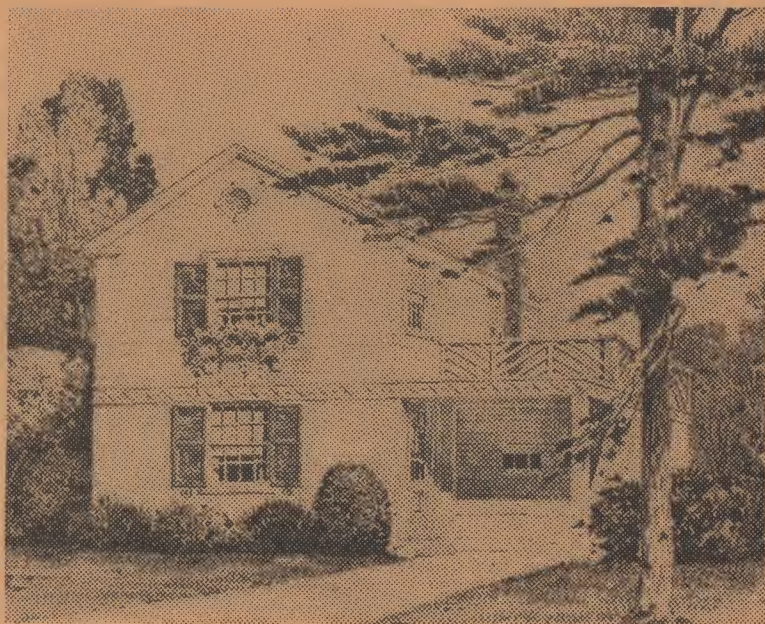


SECOND FLOOR PLAN



FIRST FLOOR PLAN

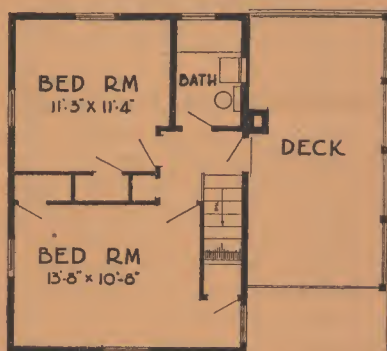
Design  
No.  
1-E



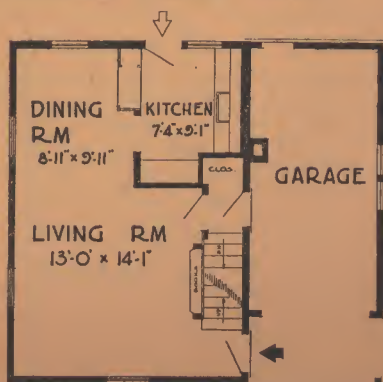
**M**AINTEINING a roof ridge parallel with the longer dimension of the house, as in the first three versions of Design No. 1, by turning the shorter dimension to the street, produces the Colonial type illustrated above, which has all the advantages of adaptation to a small plot, retains the side garage and provides the increasingly popular sun deck accessible from the second floor.

The sun deck has been secured at the sacrifice of the over-the-garage storage area in Design 1-D. The front door is still on the side, with a covering over this entry. The change in the position of the roof gable will have no effect on the cost of the house, and is offered only as a means of varying the exterior appearance to suit individual taste.

This version of Design No. 1 has been arranged to be built without basement, the heater for the house being located in the area formerly occupied by the coat closet on the first floor and the coat closet having been transferred to the small unused area under the steps, formerly allotted to cellar steps. Provision has been made for fuel to be stored at the rear of the garage, and the small alcove formed at the left of the fuel tank or bin is of ideal size in which to store garden implements out of the path of the car.

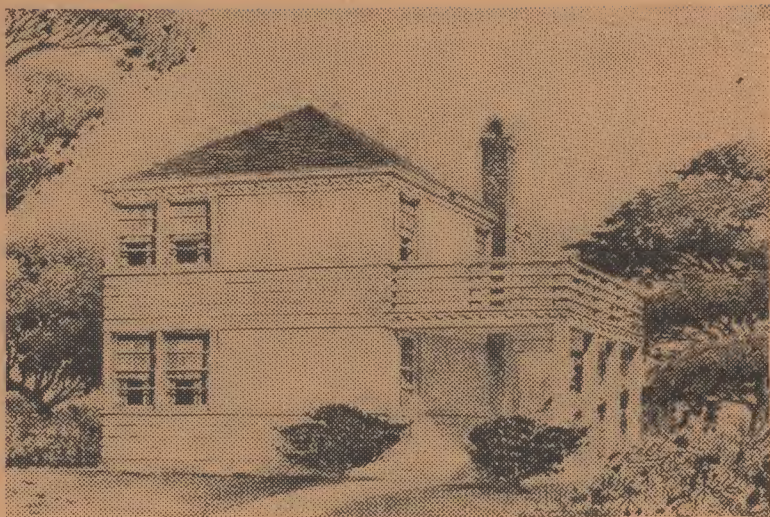


SECOND FLOOR PLAN



FIRST FLOOR PLAN

## Design No. 1-F

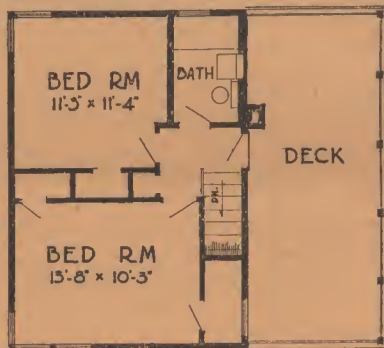


**I**F YOU are attracted to the modern types of architecture and if you particularly favor large porch areas, this 1-F version will appeal to you.

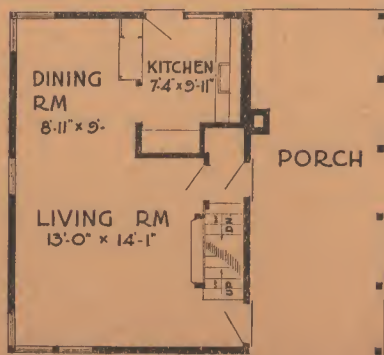
The area formerly allotted to a garage has been devoted to an open porch 10' x 25', which certainly compares most favorably in size with those found on \$10,000 houses. The open deck above, communicating with the upstairs through a door leading from the hall at the top of the second floor steps, is of the same dimensions as the open porch below, and the guard rail around this deck coincides with the horizontal siding members which band the house between the two sets of windows.

The flat wall surfaces of the house above and below this horizontal band may be made either of tight-fitting flush boards or exterior plywood. It is probable that the most distinguishing feature of this exterior is the corner windows, which have the advantage of admitting a large quantity of light while preserving intact interior wall areas which, on the more conventional houses, are frequently divided by windows.

The roof of Design 1-F is of the hip type—the only instance in which this roof shape has been applied to the fundamentally low-cost floor plan.

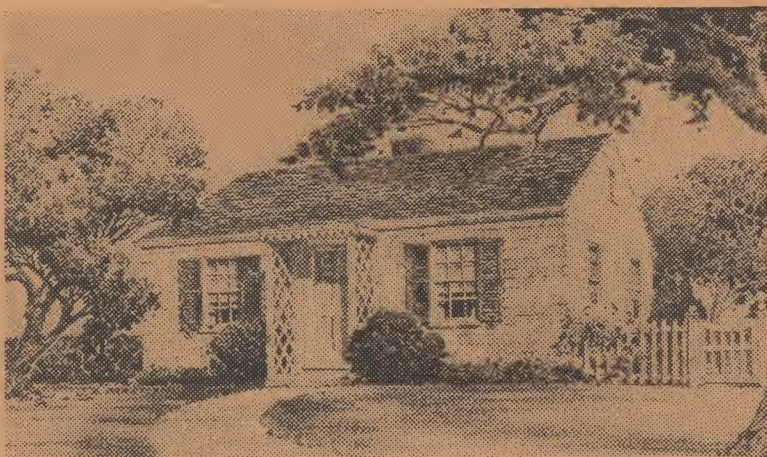


SECOND FLOOR PLAN



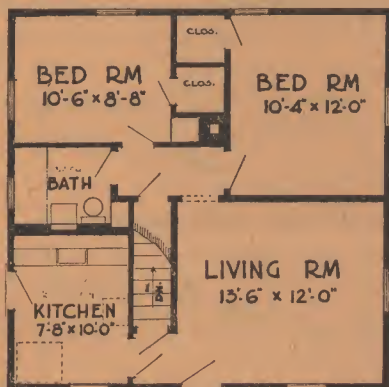
FIRST FLOOR PLAN

## Design No. 2-A



**T**HE white clapboard house with a brown or green roof and green slat shutters has been the most popular exterior style of architecture in America for nearly 200 years. This color combination was originated in the early New England days and nine out of ten Americans still favor Colonial treatment and Colonial decoration.

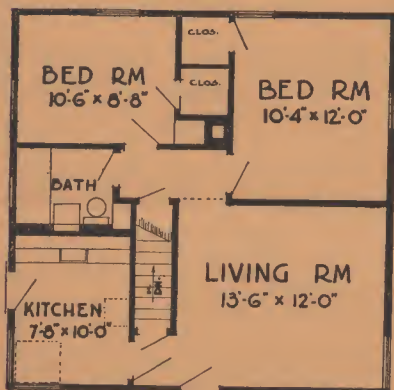
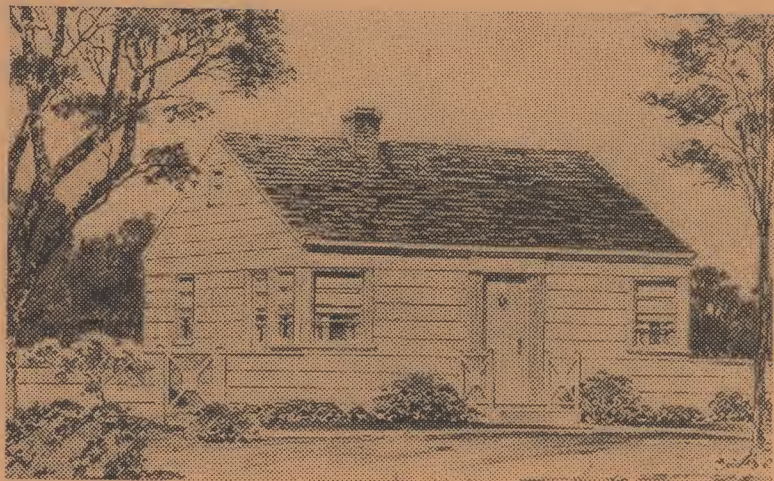
It is natural and fitting that this low-cost minimum home should be so treated, and when properly situated upon an adequate lot, decorated with an inexpensive fence or two, and equipped with shrubbery, this home, although small, maintains the dignity and good taste of more costly structures.



FIRST FLOOR PLAN

In floor plan this low-cost home is the essence of convenience, as all rooms rotate around a small central hall, all rooms have cross ventilation, and all rooms have adequate furniture space. There are two large closets—one for each bedroom—and a small linen closet, which may be opened from either the small bedroom or the hall. In addition there is an extra, full-size closet opening from the back hall over the stairway to the basement. This closet is lost in the event that a stairway is built to the second floor, but the extra space gained there will more than compensate for it. The bath room is full size and conveniently arranged, with a small closet area in one corner which may be used for medical supplies or linens. The kitchen is as large as that found in many \$6,000 homes, contains a door which communicates directly with the exterior, and is conveniently located with reference to the cellar-way. The kitchen has been made large enough to permit a dining table in one corner.

## Design No. 2-B



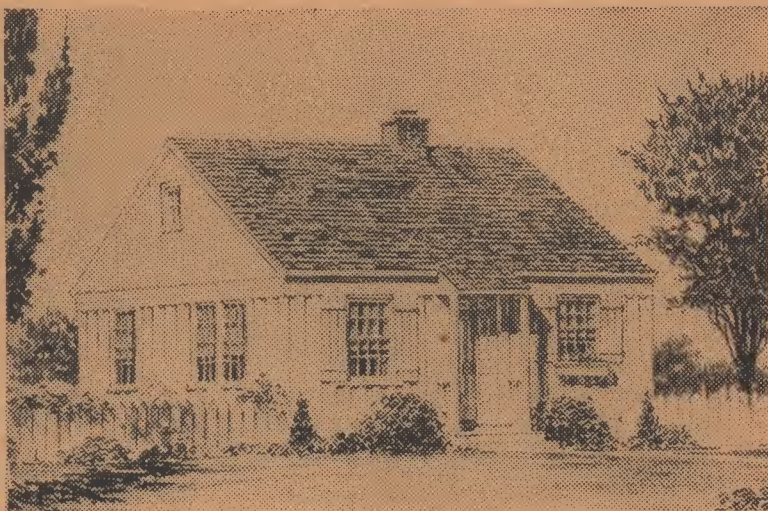
FIRST FLOOR PLAN

THERE are literally hundreds of exterior patterns and details which can be arranged to completely change the exterior appearance of basic Design No. 2. While retaining traditional siding and traditional roof slope, a restrained modern atmosphere has been imparted in variation 2-B, illustrated above, through the non-Colonial treatment of the front door and the corner windows, which are illustrated without vertical muntins.



The corner windows have been applied only on the front corners of the house, remaining the same as house 2-A on the rear. This type of treatment permits larger expanses of unbroken wall area in the living room and makes possible a greater concentration of light on the dining table in the kitchen.

## Design No. 2-C

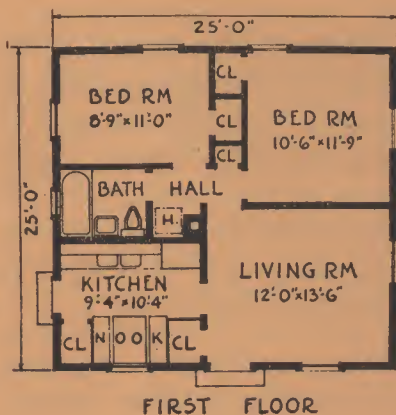


**M**ANY designers of small houses make a deliberate attempt to reach back toward the more rustic type of architecture which has produced so many quaint effects.

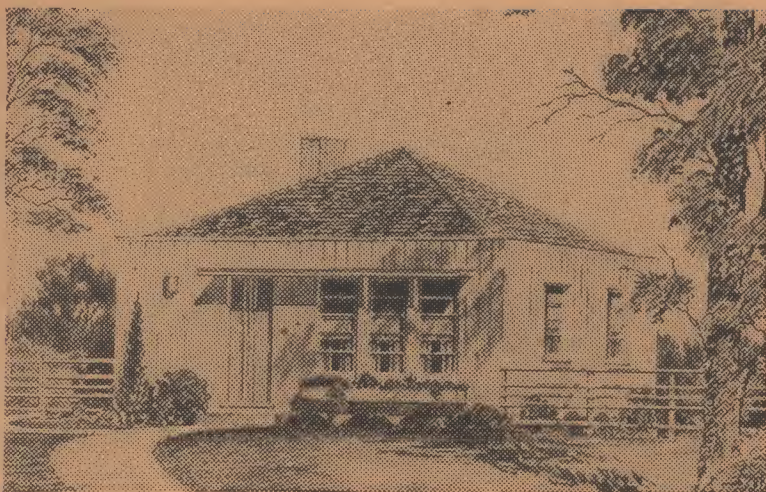
One of the frontier methods of siding houses was the use of vertical shakes, and the same type of vertical accentuation has been retained by the use of alternating boards in design 2-C.

This pattern lends itself admirably to stain, as well as paint, and the same feeling can be emphasized by the use of log cabin siding in place of the boards. If this design were used as a weekend cottage or a summer home, one of these effects is probably most appropriate.

The internal plan of the house has not been altered and it will be found that 2-C is in approximately the same price class as 2-A. Note that board and batten shutters have been substituted for the slat shutters of 2-A.



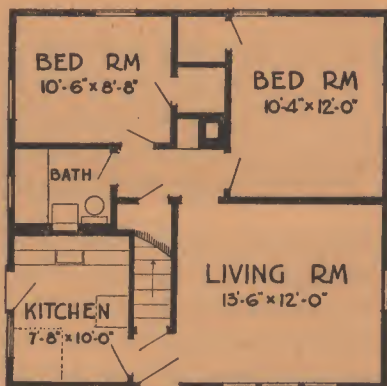
## Design No. 2-D



**F**OR the young couple which feels that traditional Colonial exteriors are a little too conservative for 1939, *National Small Homes Demonstration* architects have evolved the novel modern “overcoat” for basic Design No. 2, illustrated above.

The pyramid roof, the grouping of the front windows and the use of vertical board siding has completely transformed the appearance of the original Colonial cottage without important alteration on the interior.

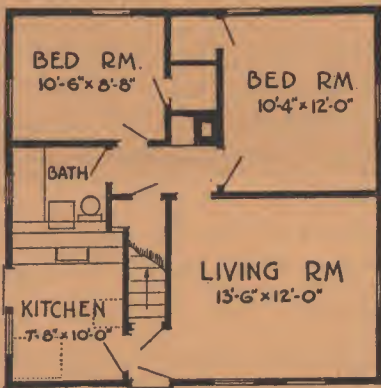
This design may logically be finished with a natural effect or one of the lighter paint tones. A modern and interesting suggestion for this house is the use of aluminum paint for the side walls, with jet black window muntins and a deep blue front door.



FLOOR PLAN



## Design No. 2-E



FLOOR PLAN

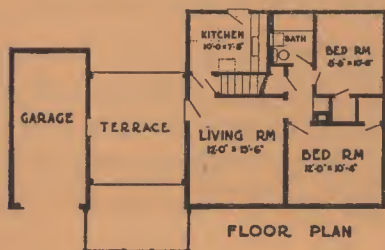
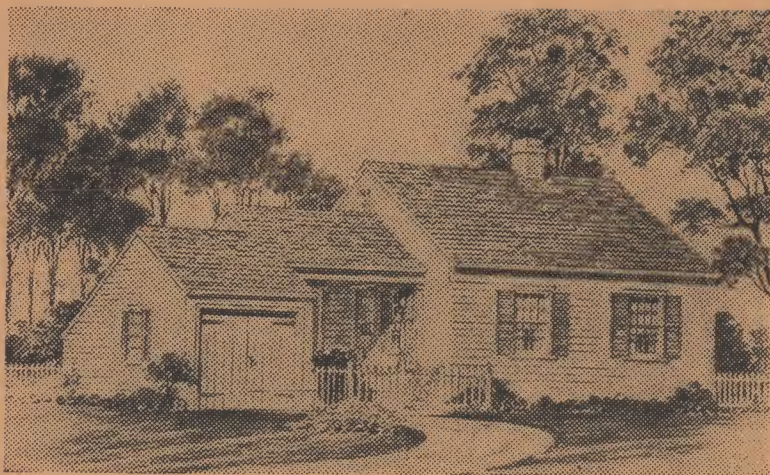


**S**HINGLES are often associated with cozy cottages, and this house lends itself well to the Cape Cod type of treatment illustrated above.

Windows on the front of the house placed at one side of the door, and porch roof in the same plane with the roof of the house, helps the illusion of greater length.

Of course any exterior wood pattern illustrated in connection with basic Design No. 2 is interchangeable with any of the exterior shapes illustrated. The Cape Cod version of the house above would be equally appropriate in either wide or narrow Colonial type wood siding, and the porch may be attached to any of the other exterior editions with proper roof alteration.

## Design No. 2-F



MANY appendages may be added to basic Design No. 2, which originally included neither porch nor garage. One of the most simple means of securing both a covered porch area and a garage, so assembled as to add materially to the mass of the house, is the design illustrated above.

★

The floor plan of the interior is exactly the same, but that side of the house which is facing the street in previous exterior drawings has been turned toward the garage, and entry to the living room is now from the side underneath the covered way, which also provides a weather-protected passage from the garage.

★

The terrace may be of any suitable material or may be left in grass.

A site of at least 75 feet frontage is desirable for Design 2-F.

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